

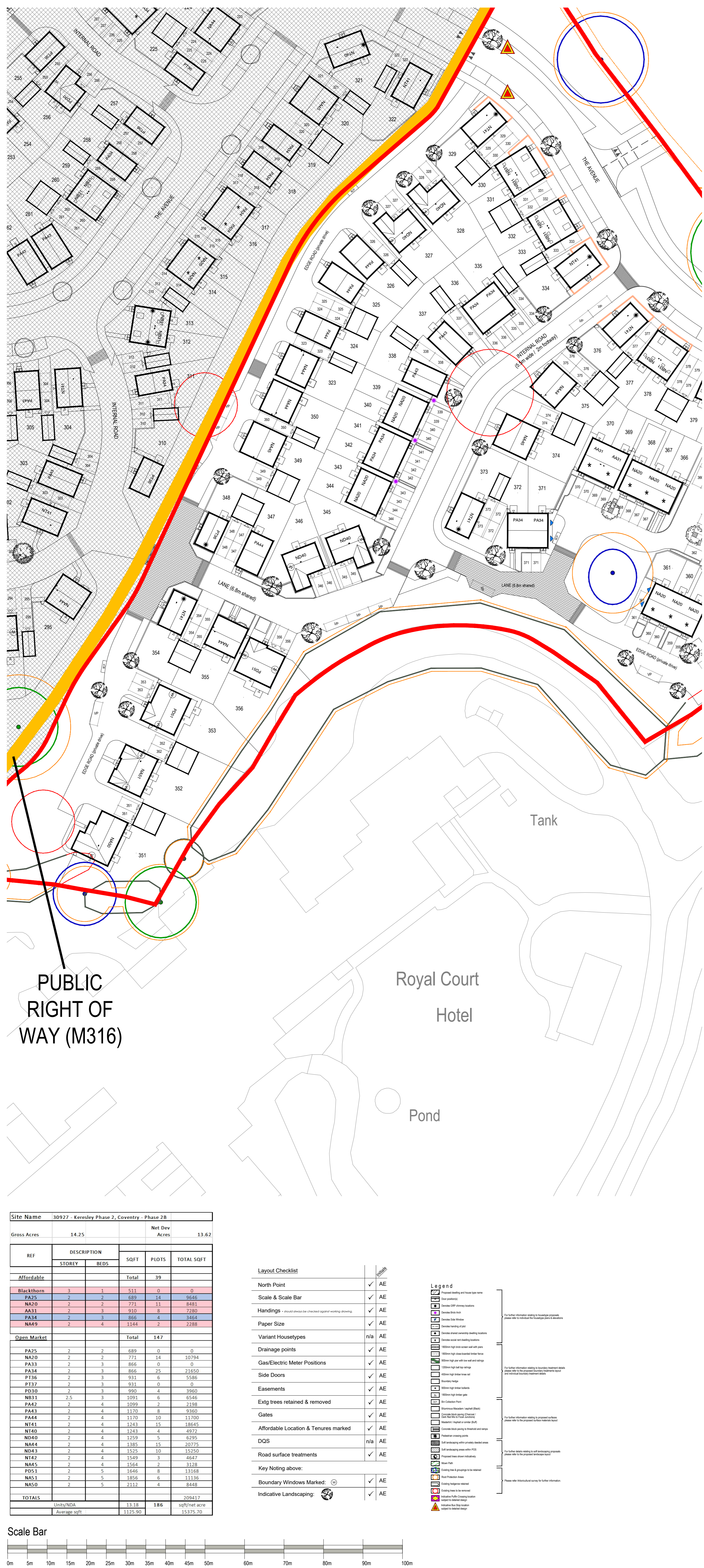
NOTE: Junctions at all locations - Please refer specifically to the Engineering Junction details

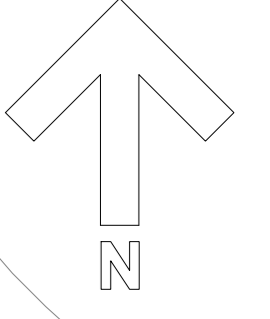
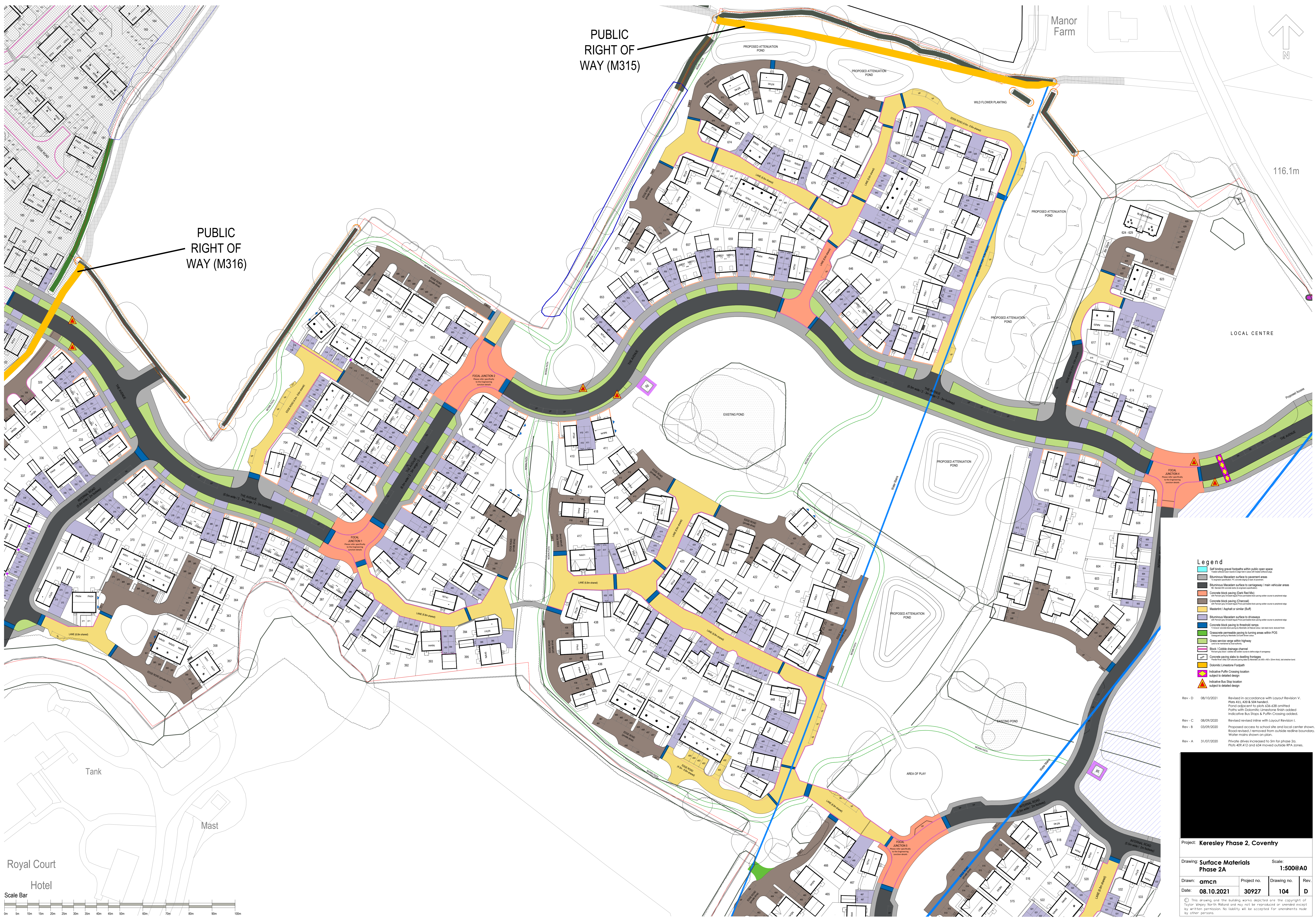
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100	Issue for comment	15.08.21	AMC	AE

Item Name	15/08/21	15/08/21	15/08/21	15/08/21
North Point	✓	AE		
Scale & Scale Bar	✓	AE		
Handings	✓	AE		
Page Size	✓	AE		
Variant HouseTypes	✓	AE		
Drainage points	✓	AE		
Gas/Electric Meter Positions	✓	AE		
Side Doors	✓	AE		
Easements	✓	AE		
Exlg trees retained & removed	✓	AE		
Gates	✓	AE		
Affordable Location & Tenures marked	✓	AE		
DQS	✓	AE		
Road surface treatments	✓	AE		
Key Noting above:				
Boundary Windows Marked:	✓	AE		
Indicative Landscaping:	✓	AE		

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- Rev - V 08/10/2021 Planning Layout amended to accommodate Highway comments
- Plot 529 amended private drive to accommodate separation with P&O
- Plot 345/401/493/511 footway amended
- Plot 975 footway amended to accommodate cycle route
- Plot 662/646 cycle route amended
- Plot 532/616/639 amended screen walls
- Plot 536 junction amended to accommodate footways
- Plot 411, 402 & 504 footway
- Pond adjacent to plots 438/438 omitted
- Indicative Bus Stops & Puffin Crossing added.
- Rev - U 04/08/2021
- Re-classified areas - Plots 578 to 597, Plots 610 to 620, Plots 639 to 646, Plots 652 to 671
- Plots 710 to 716
- Plots amended to accommodate pedestrian 2m x 2m v/s v/s
- Transitions between street types amended
- Functions along cycle path amended to accommodate cyclist vs v/s
- Rev - I 22/05/2021
- Plot 569 Rear garden fence access amended to accommodate bin storage area
- Plot 654 Rear garden fence access amended to accommodate bin storage area
- Plot 654 Rear garden fence access amended to accommodate bin storage area
- Plot 654 Rear garden fence access amended to accommodate bin storage area
- Plot 640 - 648 Reduced impact of parking area and increased soft landscaping
- Plot 622 - 628 Reduced impact of parking area and increased soft landscaping
- Plot 608 - 609 Reduced impact of parking area and increased soft landscaping
- Plot 715 Reduced impact of parking area and increased soft landscaping
- Plot 480 - 483 Reduced impact of parking area and increased soft landscaping
- Plot 546 Rear access path amended
- Plot 523 - 529 Reduced impact of parking area and increased soft landscaping
- Plot 543 - 556 Reduced impact of parking area and increased soft landscaping
- Plot 571 - 576 Reduced impact of parking area and increased soft landscaping
- Plot 543 - 562 related to break up linear frontage
- Plot 543 - 5





116.1m

Legend

- Self-binding gravel footpaths within public open space
- Illuminous Macadam surface to pavement areas
- Illuminous Macadam surface to pavement areas
- Illuminous Macadam surface to pavement areas
- Concrete block paving (Cherwell)
- Illuminous Macadam surface to driveways
- Concrete block paving to threshold ramps
- Concrete permeable paving to turning areas within FOG
- Grass service verge within Highway
- Blocks / Cobble drainage channel
- Concrete paving slabs to dwelling footpaths
- Diatomite Limestone Footpath
- Indicative Public Crossing location
- Indicative Bus Stop location
- Indicative Public Crossing location

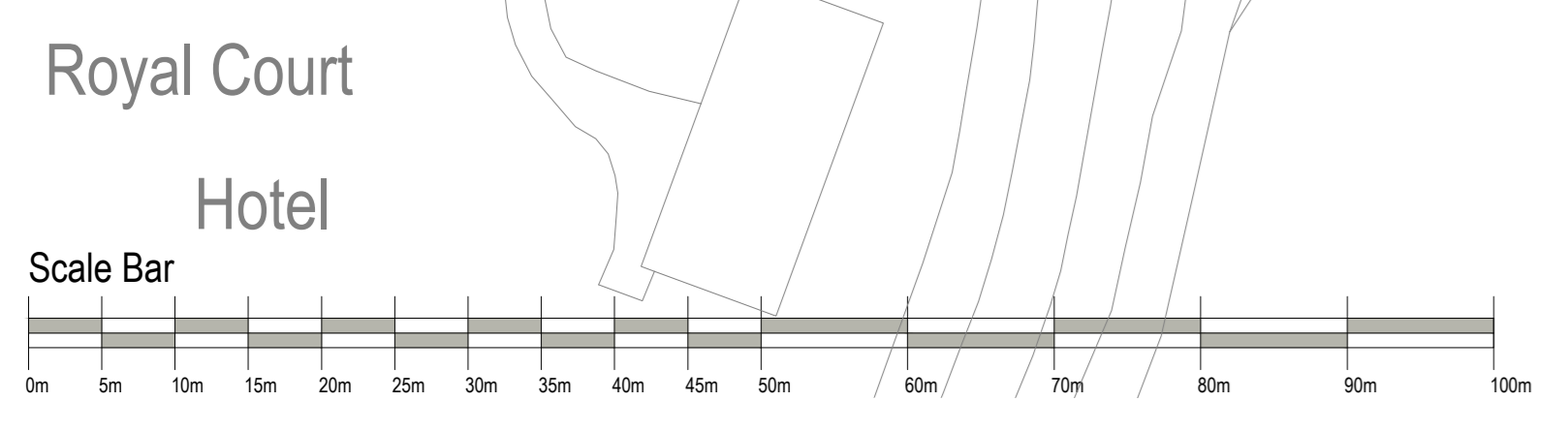
- Rev - D 08/10/2021 Revised in accordance with Layout Revision V. Ponds 412, 426 & 504 amended. Pond adjacent to plots 434-438 omitted. Paths with Diatomite Limestone from omitted. Indicative Bus Stops & Public Crossing added.
- Rev - C 08/09/2020 Revised revised in line with Layout Revision I.
- Rev - B 03/09/2020 Proposed access to school site and local center shown. Road widened / removed from outside redline boundary. Water mains shown on plan.
- Rev - A 31/07/2020 Private drives increased to 3m for phase 2a. Plots 429, 412 and 434 moved outside RPA zones.

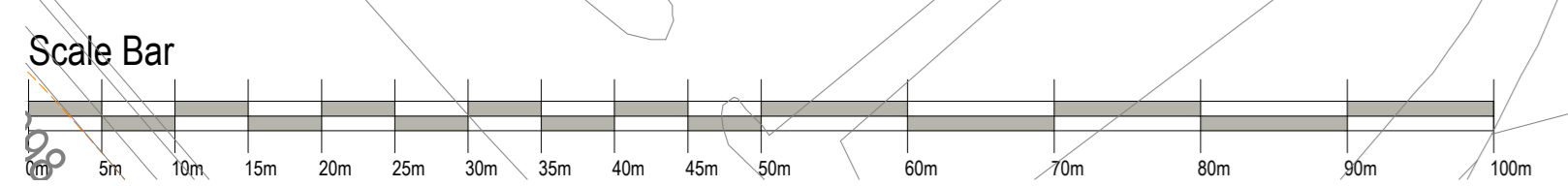
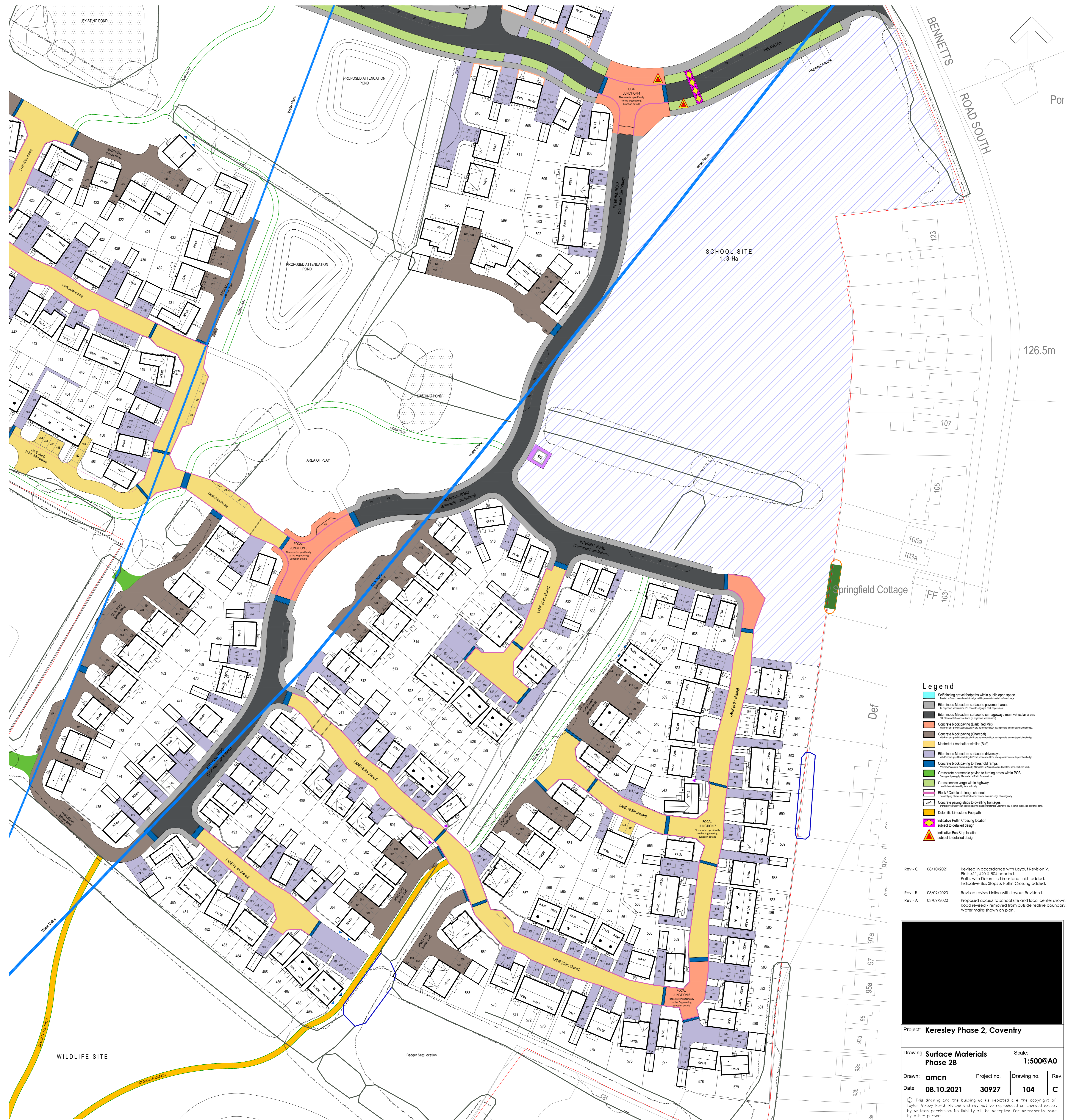
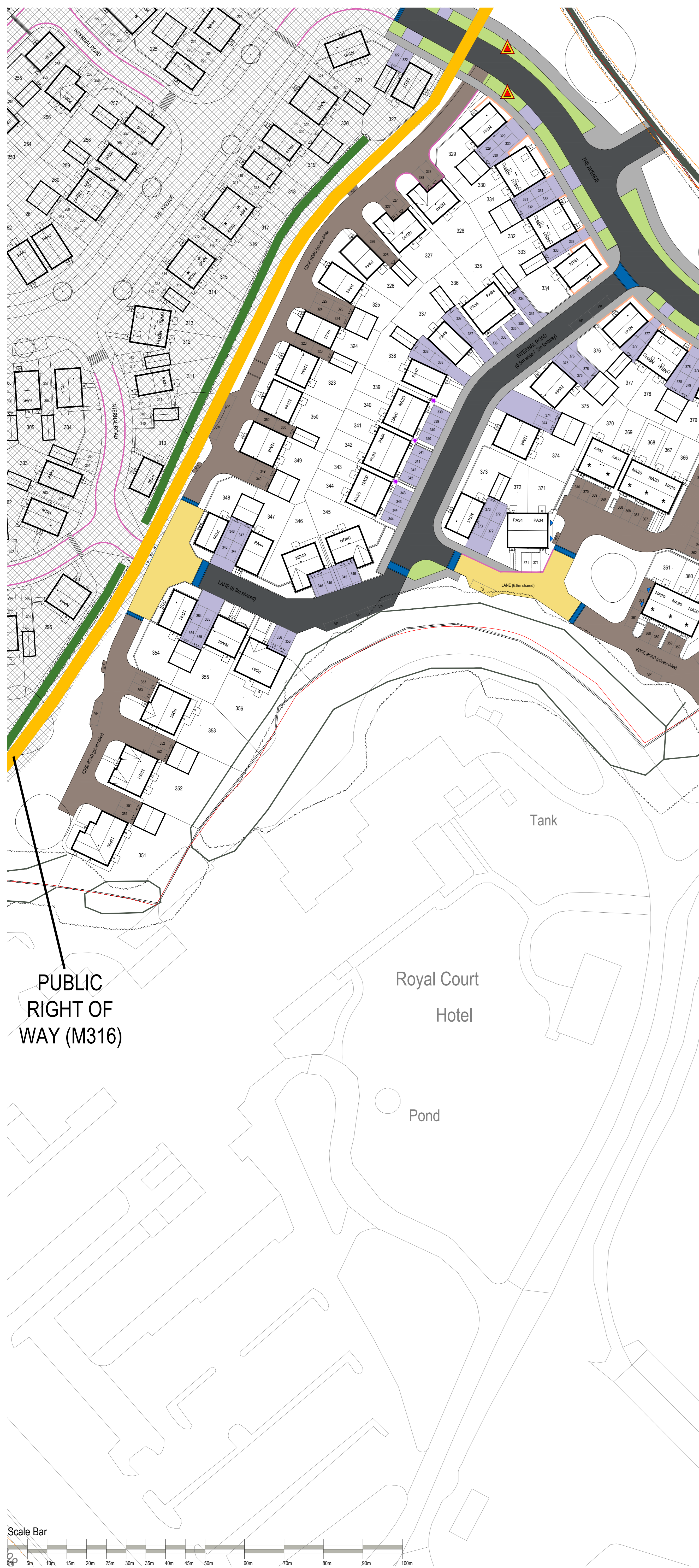
Project: **Keresley Phase 2, Coventry**

Drawing: **Surface Materials Phase 2A** Scale: **1:500@A0**

Drawn: amcn	Project no: 30927	Drawing no: 104	Rev: D
Date: 08.10.2021			

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- Legend**
- Self-binding gravel footpaths within public open space
 - Bituminous Macadam surface to pavement areas
 - Bituminous Macadam surface to carriageway / main vehicular areas
 - Concrete block paving (Dark Red Block)
 - Concrete block paving (Charcoal)
 - Mastic / Asphalt or similar (Burr)
 - Bituminous Macadam surface to driveways
 - Concrete block paving to threshold ramps
 - Concrete permeable paving to turning areas within FOG
 - Grass service verge within Highway
 - Block / Cobble drainage channel
 - Concrete paving slabs to dwelling footings
 - Diatomic Limestone Footpath
 - Indicative Bus Stop location
 - Indicative Puffin Crossing location

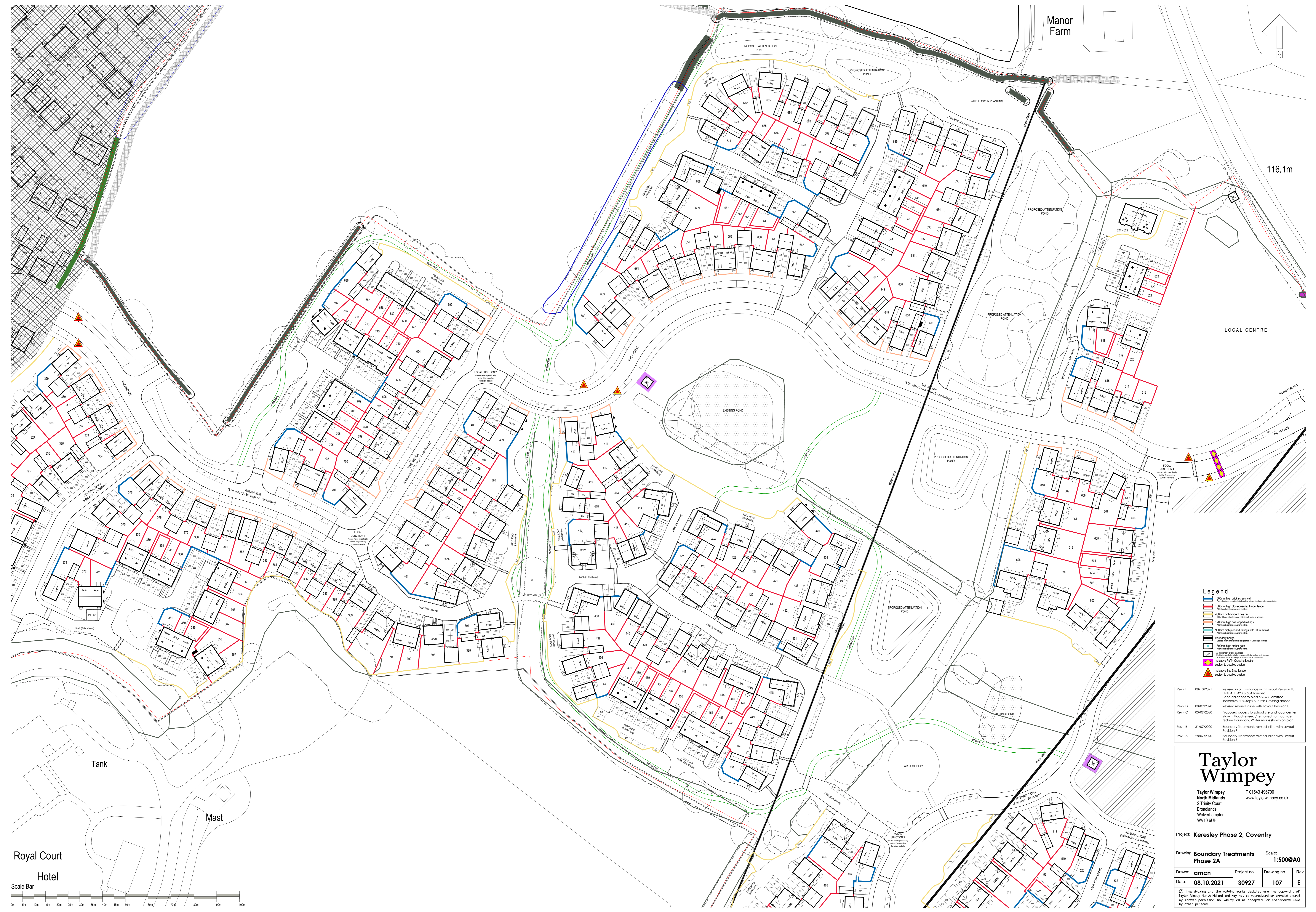
- Rev - C 08/10/2021 Revised in accordance with Layout Revision V. Puffin 411, 420 & 504 highlighted. Puffin with Diatomic Limestone finish added. Indicative Bus Stop & Puffin Crossing added.
- Rev - B 08/09/2020 Revised revised inline with Layout Revision I.
- Rev - A 03/09/2020 Proposed access to school site and local center shown. Road revised / removed from outside redline boundary. Water mains shown on plan.

Project: **Keresley Phase 2, Coventry**

Drawing: **Surface Materials Phase 2B** Scale: **1:500@A0**

Drawn: amcn	Project no.:	Drawing no.:	Rev.:
Date: 08.10.2021	30927	104	C

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Manor Farm

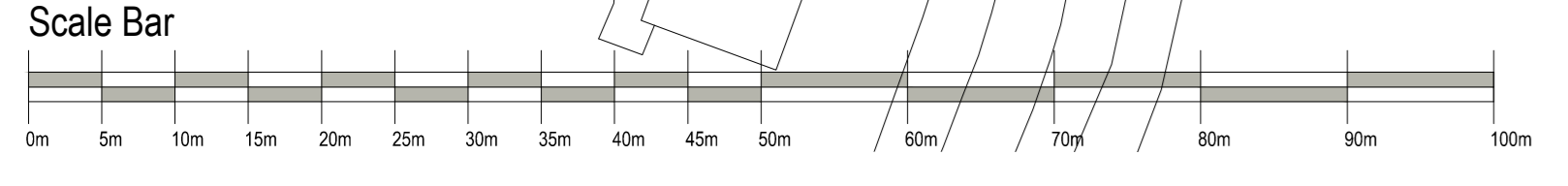
116.1m

LOCAL CENTRE

Tank

Mast

Royal Court
Hotel



Legend

- 1500mm high brick screen wall
- 1500mm high close-boarded timber fence
- 400mm high timber fence rail
- 1000mm high ball topped railings
- 500mm high pre-cast concrete with 300mm wall
- Boundary hedge
- 1000mm high timber gate
- 1000mm high timber gate
- Indicative Bus Stop location
- Indicative Bus Stop location subject to detailed design

Rev - E	08/10/2021	Revised in accordance with Layout Revision V. Plot 411, 420 & 504 included. Final alignment to plots 406-508 omitted. Indicative Bus Stop & Puffin Crossing added.
Rev - D	08/09/2020	Revised revised in line with Layout Revision I.
Rev - C	03/09/2020	Proposed access to school site and local center shown. Road revised / removed from outside redline boundary. Water mains shown on plan.
Rev - B	31/07/2020	Boundary treatments revised in line with Layout Revision J.
Rev - A	28/07/2020	Boundary treatments revised in line with Layout Revision E.

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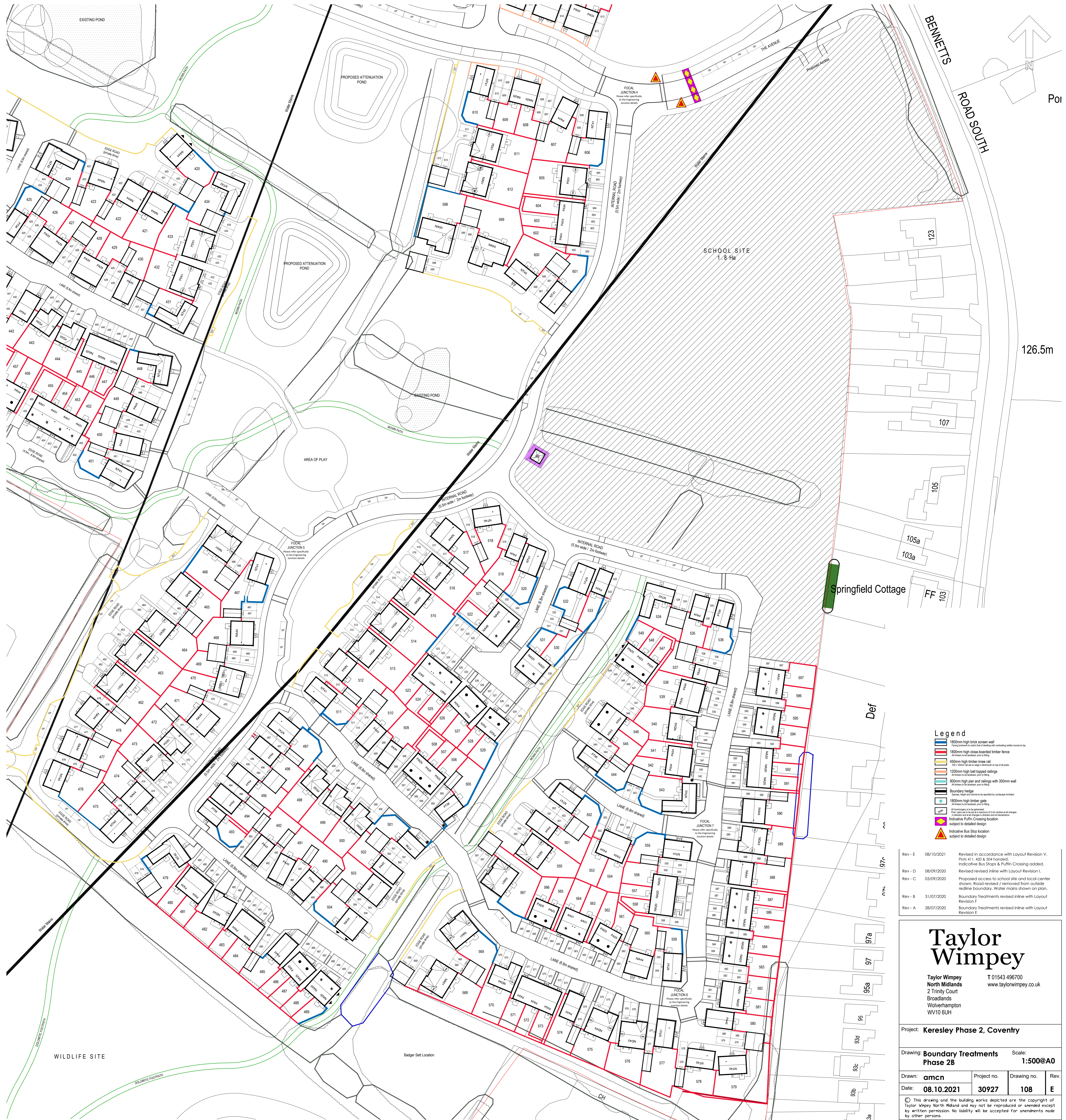
Project: **Keresley Phase 2, Coventry**

Drawing: **Boundary Treatments Phase 2A** Scale: **1:500@A0**

Drawn: **amcn** Project no: **30927** Drawing no: **107** Rev: **E**

Date: **08.10.2021**

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- Legend**
- 1000mm high brick screen wall
 - 1000mm high close-boarded timber fence
 - 450mm high timber fence
 - 1000mm high ball topped railings
 - 500mm high gate and railings with 300mm wall
 - Boundary hedge
 - 1000mm high timber gate
 - Access to be provided
 - Indicative Bus Stop location
 - Indicative Puffin Crossing location
 - Indicative Bus Stop location subject to detailed design

- Rev - E 08/10/2021 Revised in accordance with Layout Revision V. Plot 411, 423 & 504 removed. Indicative Bus Stop & Puffin Crossing added.
- Rev - D 08/09/2020 Revised in accordance with Layout Revision I.
- Rev - C 03/09/2020 Proposed access to school site and local center shown. Road revised / removed from outside redline boundary. Water mains shown on plan.
- Rev - B 31/07/2020 Boundary treatments revised inline with Layout Revision J.
- Rev - A 28/07/2020 Boundary treatments revised inline with Layout Revision E.

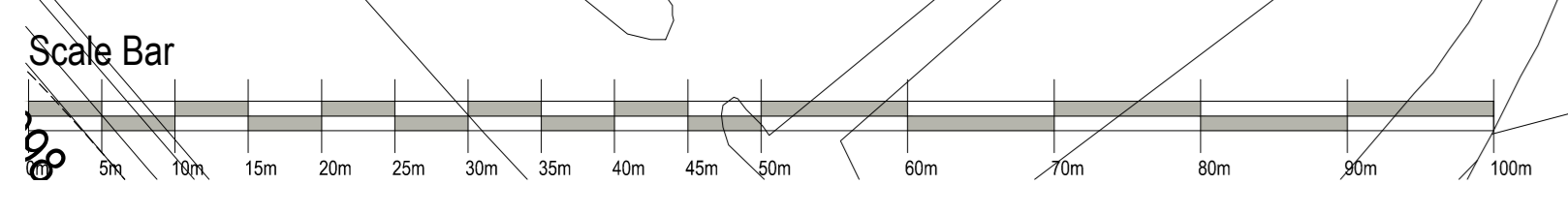
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Project: **Keresley Phase 2, Coventry**

Drawn: amcn	Project no: 30927	Drawing no: 108	Rev: E
Date: 08.10.2021			

Scale: **1:500@A0**

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- Legend**
- Roof Tile:
 - Russell Grampian - Anthracite
 - Russell Lohan - Cottage Red
 - Russell Pennine - Flat Brown
- For further information relating to proposed facing materials please refer to individual house type plans & elevations.
- Legend**
- Facing Brick:
 - Stock Heritage Walsley Red Mature - Main
 - Stock Heritage Astoria Antique - Main
 - Stock Railway - Main
 - Stock Mercia Orange Matt - Main
 - Stock Railway J. Main
 - Stock Heritage Walsley Red Mature - Main
 - Stock Heritage Walsley Red Mature - Main
 - Other Facing Materials:
 - White Roughcast Render
 - Denotes GRP chimney locations
 - All rainwater goods to be Black
 - Door colour:
 - Black front door / garage door
 - Grey front door / garage door
 - Painted green front door / garage door
 - Door and window frames to be colour grey within Some Road Character Area
 - Doors and window frames to be colour pastel green on units with green front door / garage door
 - All other door and window frames to be colour white
 - Indicative Bus Stop location subject to detailed design
 - Indicative Bus Stop location subject to detailed design
- For further information relating to proposed facing materials please refer to individual house type plans & elevations.

- Rev - K 08/10/2021 Revised in accordance with Layout Revision V. Plans 411, 420 & 204 handed. Pond adjacent to plots 436-438 omitted. Indicative Bus Stop & Puffin Crossing added.
- Rev - J 25/11/2020 Garage door indicators added to plot 483/684. Stock Shedwood Stone substituted with Stock Mercia Orange Matt.
- Rev - H 15/09/2020 Revised revised in line with Layout Revision I.
- Rev - G 08/09/2020 Facing materials to plots 395-401 & 703 garages amended to match plot facing materials.
- Rev - F 04/09/2020 Proposed access to school site and local center shown. Road revised / removed from outside redline boundary. Water mains shown on plan.
- Rev - E 03/09/2020
- Rev - D 28/08/2020 Chimney placements, various material changes due to client comments.
- Rev - C 24/08/2020 Facing Materials revised in line with Layout Revision F
- Rev - B 31/07/2020 Facing Materials revised in line with Layout Revision E
- Rev - A 28/07/2020 Facing Materials revised in line with Layout Revision D

Taylor Wimpey

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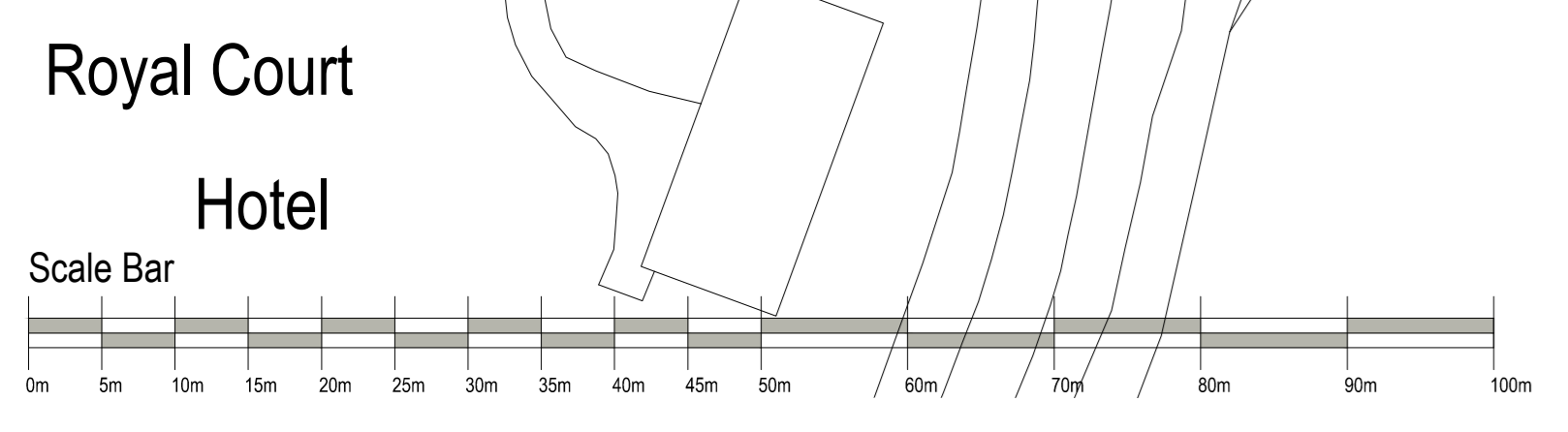
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Project: **Keresley Phase 2, Coventry**

Drawing: **Facing Materials Phase 2A** Scale: **1:500@A0**

Drawn: amcn	Project no: 30927	Drawing no: 110	Rev: K
Date: 08.10.2021			

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116.1m

LOCAL CENTRE

Manor Farm

Tank

Mast

Royal Court Hotel

Scale Bar



- Legend**
- Roof Tile:
 - Russell Grampian - Anthracite
 - Russell Lethen - Cottage Red
 - Russell Paines - Past Brown
- For further information relating to proposed facing materials please refer to individual facings plans & elevations

- Legend**
- Facing Brick:
 - Isstock Harbecke White Back Red Mixtura - Main
 - Isstock Harbecke Autumn Antiqua - Main
 - Isstock Harbecke Autumn Antiqua - Corner
 - Isstock Belmont - Main
 - Isstock Belmont - Corner
 - Isstock Mercia Orange Muli - Main
 - Isstock Belmont - Main
 - Isstock Harbecke White Back Red Mixtura - Main
 - Other Facing Materials:
 - White Roughcast Render
 - Decorative GRP chimney locations
 - All rainwater goods to be Black
- For further information relating to proposed facing materials please refer to individual facings plans & elevations

- Door colour:
 - Black front door / garage door
 - Grey front door / garage door
 - Pastel green front door / garage door
- Door and window frames to be colour grey
- White Stone Road Chalkboard Area
- Door and window frames to be colour pastel green
- Ornate light green front door / garage door
- All other door and window frames to be colour white
- Indicative Puffin Crossing location subject to detailed design
- Indicative Bus Stop location subject to detailed design

Rev - I	08/10/2021	Revised in accordance with Layout Revision V. Pools 411, 423 & 524 truncated. Indicative Bus Stop & Puffin Crossing added.
Rev - H	15/09/2020	Isstock Sherwood Baze substituted with Isstock Mercia Orange Multi.
Rev - G	08/09/2020	Revised revised in line with Layout Revision I.
Rev - F	04/09/2020	Facing materials to match 395,421 & 752 garages amended to match plot facing materials.
Rev - E	03/09/2020	Proposed access to school site and local center shown. Road revised / removed from outside redline boundary. Water mains shown on plan.
Rev - D	28/08/2020	Chimney placements, various material changes due to client comments.
Rev - C	24/08/2020	Facing Materials revised inline with Layout Revision F
Rev - B	31/07/2020	Facing Materials revised inline with Layout Revision E
Rev - A	28/07/2020	Facing Materials revised inline with Layout Revision D

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Project: **Keresley Phase 2, Coventry**

Drawing: **Facing Materials Phase 2B** Scale: **1:500@A0**

Drawn: amcn	Project no. 30927	Drawing no. 111	Rev. I
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